



City of Imperial Beach, California

COMMUNITY DEVELOPMENT DEPARTMENT - BUILDING DIVISION

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GUIDANCE FOR SHEET SP-1

By using these standard plans, the user agrees to release the City of Imperial Beach from any and all claims, liabilities, suits, and demands on account of any injury, damage, or loss to persons or property, including injury or death, or economic losses, arising out of the use of these construction documents. The use of these plans does not eliminate or reduce the user's responsibility to verify any and all information.

110.3.10.1 Setback and Building Height Certification. Prior to the first foundation inspection for any new building or addition to an existing building within one (1) foot of the required setbacks or building height limitations established by Title 19, Zoning of the Imperial Beach Municipal Code, a written statement or certificate prepared and signed by a registered civil engineer licensed to practice land surveying or a licensed land surveyor shall be submitted to the Building Official stating that under penalty of perjury that the rough grade elevations and location of the building are in substantial conformance with the plans approved by the City of Imperial Beach.

NOTE: THESE PLANS CANNOT BE USED FOR PROJECTS THAT FALL WITHIN A FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA).

BMP LEGEND

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GENERAL CODES

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ENERGY EFFICIENCY VERIFICATION

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SHEET TITLE

PLOT PLAN

SHEET NUMBER

SP-1

ITEM 1: PROVIDE A COMPLETE PLOT PLAN

The plot plan shows the general layout of the lot. See plot plan example linked [here](#). A plot plan checklist can also be found [here](#).

ITEM 2: PROVIDE VICINITY MAP

This map should show the area around your property. Show the general location of your property in relation to streets, highways, and landmarks. Scale can be approximate.

ITEM 3: PROVIDE OWNER and CONTACT INFORMATION

Fill out all items under "Owner Information" and "Contact Information." If the owner is also the main contact for the permit, the information in the two areas will be the same.

GUIDANCE FOR SHEET SP-1 CONTINUED

ITEM 4: PROVIDE PROJECT INFORMATION and PROJECT SCOPE

- Fill out all items under “Project Information”

GUIDANCE FOR SHEET SP-1 CONTINUED

ITEM 5: FILL OUT THE PERVIOUS AREA TABLE

- This table shows all constructed pervious surfaces. These surfaces, such as pavers, allow water infiltration into the soil.

ITEM 6: FILL OUT IMPERVIOUS AREA TABLE and LAND DISTURBANCE QUANTITY

- Impervious Area Table: This table shows all constructed impervious surfaces. These surfaces, such as building roofs and concrete driveways, reduce water infiltration into the soil.
- Land Disturbance: This area includes all activity areas that change the land's physical condition.

ITEM 7: PROVIDE BMP PLAN

- Proposed locations of all stormwater Best Management Practices (BMPs) per the [City of Imperial Beach Storm Water Management Plan](#) must be shown on the plot plan.
- The BMPs shown on the Plot Plan must match the BMPs selected in the “[City of Imperial Beach Storm Water Management Plan](#)” form (see page 3 and 4 this document).

ITEM 8: PROVIDE ENERGY EFFICIENCY SPECIAL FEATURES

- Energy Efficiency Special Features are design elements that have been inputted in compliance software for Energy Code compliance.
- These items can be found under the “Required Special Features” section on the first few pages of the energy compliance form (CF1R). List these items in the space provided.

ITEM 9: PROVIDE ENERGY EFFICIENCY HERS VERIFICATION

- HERS is the California Home Energy Rating System. When HERS verification is required, a HERS rater must be hired by the owner/contractor to perform field verification and diagnostic testing. This is required to demonstrate compliance with the Energy Code.
- The items requiring HERS Verification can be found under the “HERS Feature Summary” section on the first few pages of the energy compliance form (CF1R). List these items in the space provided.

GUIDANCE FOR SHEET A-3/A-4

[illegible]

ITEM 1: PROVIDE ROOFING INFORMATION

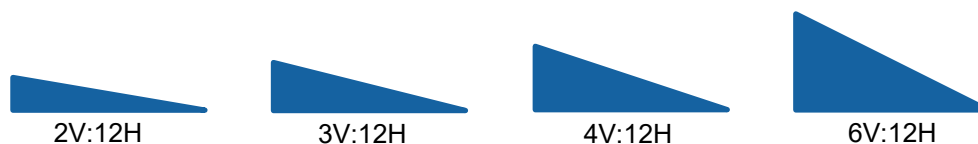
Specify roof material and underlayment. Also specify ICC, UL, or equivalent listing report number and manufacturer for roofing material (tile, metal, built-up, etc.).

ITEM 2: PROVIDE EXTERIOR WALL FINISH

Specify exterior wall finish. It may need to be noncombustible material (stucco, cement fiber board, masonry, etc.) if the project is in a wildfire area.

ITEM 3: PROVIDE ROOF PITCH

Pitch is the ratio of rise (V, vertical change) to run (H, horizontal change) of the roof. See below for examples. Specify the proposed roof pitch and verify that the specified roof material is adequate for the selected roof pitch.



GUIDANCE FOR SHEET A-5

32'-7"

1'-6"

2'-0"

1'-6"

24'-0"

18'-0"

2'-0"

1'-6"

250 SF DEDICATED SOLAR ZONE AREA (AREA B)

250 SF DEDICATED SOLAR ZONE AREA (AREA A)

OUTLINE OF WALLS BELOW

WHEN PV SYSTEM NOT REQUIRED, PER ENERGY COMPLIANCE DETERMINATION OF CHIMNEY REQUIRED:

- MIN 250 S.F. SOLAR ZONE AREA
- DEDICATED SOLAR ZONE AREA LOCATED BETWEEN 100' AND 270' SEPARATED BY SAME NORTH - USE AREA A OR B AS NEEDED.
- NO OBSTRUCTIONS - INCLUDING ROADS, CHIMNEYS, DRAPING, ARCHITECTURAL FEATURES, ROOF-MOUNTED EQUIPMENT - LOCATED WITHIN SOLAR ZONE
- 3" MIN FIRE FIGHTER ACCESS
- 3" DUCT VENTILATION SERTACK AT RIDGES

GABLE END TRUSS ID: _____

TRUSS ID: _____

TRUSS ID: _____

TRUSS ID: _____

TRUSS ID: _____

TRUSS ID: _____

TRUSS ID: _____

TRUSS ID: _____

GABLE END TRUSS ID: _____

1

ATTIC VENTILATION

NET FREE AREA REQUIRED:
(SEE TABLE NOTES 1 & 2 ON SHEET A2)

NET FREE CROSS SECTION AREA = 500

NET AREA REQUIRED = 400 (8' x 50') = 400' x 25' = 10,000' x 25' = 250,000' x 25' = 6,250,000' x 25' = 156,250,000' x 25' = 3,906,250,000' x 25' = 97,656,250,000' x 25' = 2,441,406,250,000' x 25' = 61,035,156,250,000' x 25' = 1,525,878,906,250,000' x 25' = 38,146,972,656,250,000' x 25' = 953,674,316,406,250,000' x 25' = 23,841,857,910,156,250,000' x 25' = 596,046,447,753,906,250,000' x 25' = 14,901,161,193,847,656,250,000' x 25' = 3,725,290,298,461,164,062,500,000' x 25' = 93,132,257,461,541,601,562,500,000' x 25' = 2,328,306,436,538,540,039,062,500,000' x 25' = 58,207,661,413,463,500,976,562,500,000' x 25' = 1,455,191,535,336,587,524,414,062,500,000' x 25' = 36,379,788,383,414,688,110,351,562,500,000' x 25' = 9,094,947,095,853,672,027,587,914,062,500,000' x 25' = 2,273,736,773,963,418,006,947,235,625,000,000' x 25' = 568,434,193,490,854,501,736,808,906,250,000,000' x 25' = 142,108,548,372,713,625,434,202,226,562,500,000,000' x 25' = 35,527,137,093,178,406,358,550,556,640,625,000,000,000' x 25' = 8,881,784,273,294,601,589,637,639,160,156,250,000,000,000' x 25' = 2,220,446,068,323,650,397,415,909,775,039,062,500,000,000,000' x 25' = 555,111,517,080,912,599,353,977,443,769,765,625,000,000,000,000' x 25' = 138,777,879,270,228,149,838,494,360,942,441,406,250,000,000,000,000' x 25' = 34,694,469,817,557,037,459,623,590,235,610,615,625,000,000,000,000' x 25' = 8,673,617,454,389,259,364,915,647,558,265,265,625,000,000,000,000' x 25' = 2,168,404,363,597,314,841,228,911,641,916,316,406,250,000,000,000,000' x 25' = 542,101,090,899,328,710,307,027,765,479,154,151,562,500,000,000,000' x 25' = 135,525,272,724,832,177,576,756,941,237,388,138,437,500,000,000,000' x 25' = 33,881,318,181,208,044,394,189,236,559,347,084,619,375,000,000,000' x 25' = 8,470,329,545,302,011,098,547,309,388,841,751,616,843,750,000,000' x 25' = 2,117,582,386,325,502,774,636,827,347,205,437,916,660,937,500,000' x 25' = 529,395,596,581,375,693,659,206,836,801,344,241,666,734,375,000' x 25' = 132,348,899,145,343,923,414,901,666,700,336,061,666,683,593,750' x 25' = 33,087,223,786,335,980,853,726,665,007,659,016,666,668,384,375' x 25' = 8,271,805,946,583,995,213,431,666,501,914,266,666,667,086,093,750' x 25' = 2,067,951,486,645,998,803,357,916,665,281,166,666,667,521,673,437,500' x 25' = 516,987,871,661,499,700,839,479,166,570,416,666,667,805,418,343,750' x 25' = 129,246,967,915,374,925,209,869,791,642,666,666,701,362,040,864,375' x 25' = 32,311,741,978,843,726,302,467,447,910,666,666,751,590,510,216,187,500' x 25' = 8,077,935,494,705,931,575,116,612,237,666,666,788,925,255,541,687,500' x 25' = 2,019,483,873,676,482,893,779,053,059,416,666,787,226,388,863,668,750' x 25' = 504,870,968,419,120,723,444,763,264,866,666,781,816,717,171,668,750' x 25' = 126,217,742,104,780,180,861,115,816,216,666,780,454,179,292,917,187,500' x 25' = 31,554,435,526,195,045,215,278,954,054,166,780,113,539,748,244,375' x 25' = 7,888,608,881,548,761,302,819,738,513,666,780,113,539,748,244,375' x 25' = 1,972,152,220,387,190,325,704,934,633,416,666,780,113,539,748,244,375' x 25' = 493,038,055,096,797,576,426,233,608,354,166,780,113,539,748,244,375' x 25' = 123,259,513,774,199,394,106,558,402,086,666,780,113,539,748,244,375' x 25' = 30,814,878,443,549,848,526,639,600,516,666,780,113,539,748,244,375' x 25' = 7,703,719,610,887,462,131,659,650,166,666,780,113,539,748,244,375' x 25' = 1,925,927,652,721,865,532,914,875,416,666,780,113,539,748,244,375' x 25' = 481,481,913,180,466,383,228,718,854,166,780,113,539,748,244,375' x 25' = 120,370,478,295,116,595,807,179,713,541,666,780,113

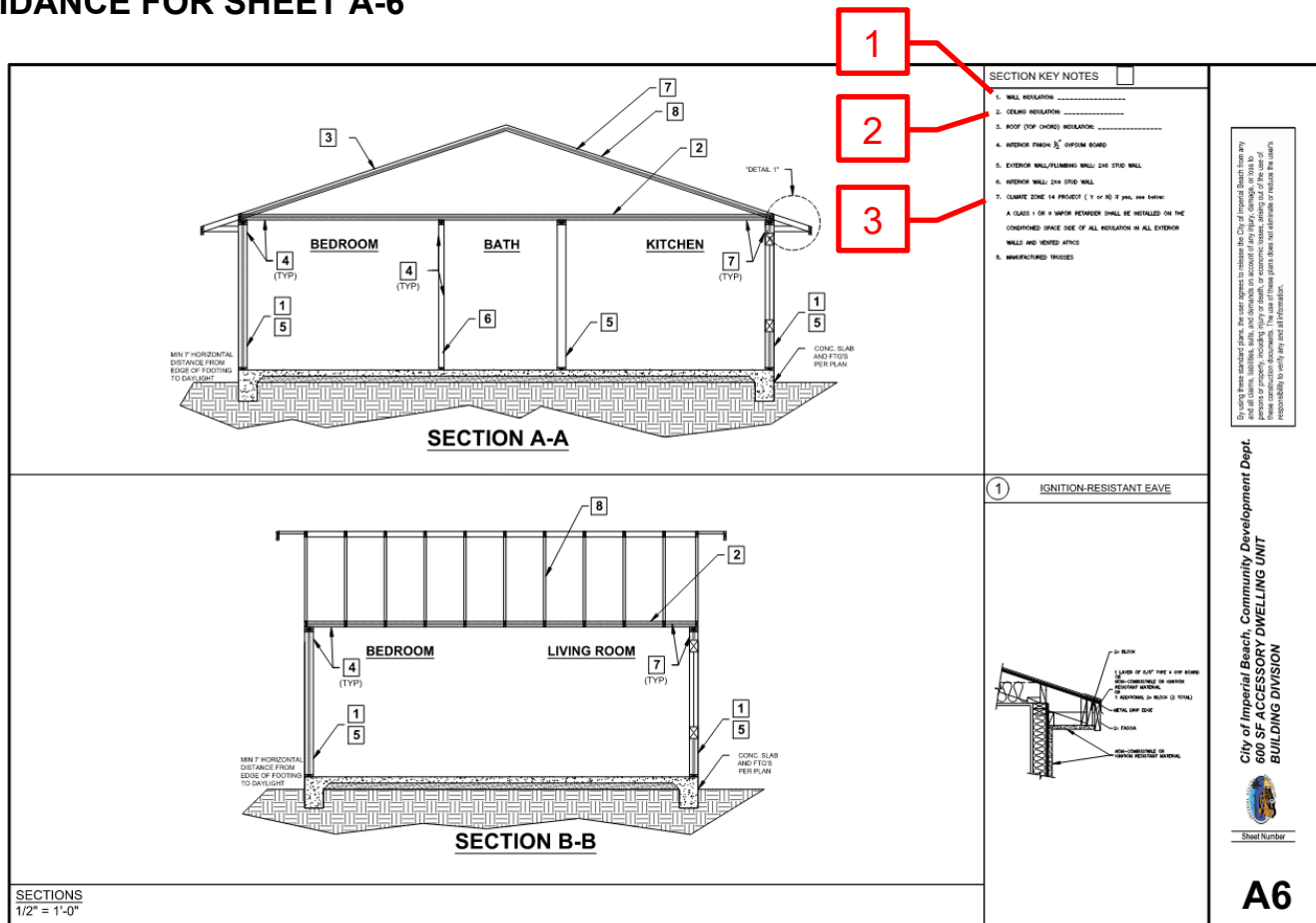
ITEM 1: PROVIDE TRUSS IDENTIFICATION NUMBERS

Truss identification numbers are shown on truss calculations/layout by the manufacturer. Transfer these numbers to the Truss Layout or attach an 11x17 copy of the manufacturer's truss layout to the ADU plans.

ITEM 2: PROVIDE TRUSS ATTIC VENTILATION INFORMATION

- Select a combination of gable, eave, and roof vents that meet the minimum required net free vent area (NFVA) calculation and Note 4 requirements.
- Fill out the information for the chosen vents.
 - For vent types that are not selected, write "N/A."
- Add the vent area provided by each vent type (Gable, Eave, and Roof) to determine the "Total Vent Area Provided." Use this value to fill in the blank in the box at the top of this section.

GUIDANCE FOR SHEET A-6



ITEM 1: PROVIDE WALL INSULATION

Fill in the insulation for the WALLS and check that the framing has enough cavity space to fit the chosen insulation. Also, check that the selected insulation matches the one shown on the energy calculations (TITLE-24).

ITEM 2: PROVIDE ROOF/CEILING INSULATION

Fill in the insulation for the ROOF/CEILING and check that the framing has enough cavity space to fit the chosen insulation. Also, check that the selected insulation matches the one shown on the energy calculations (TITLE-24).

ITEM 3: SPECIFY VAPOR RETARDER

- Determine the project's climate zone based on zip code or Property Summary Report. If located in climate zone 14, circle "Y" (yes).
- The following website can be used to determine the climate zone based on zip code:
<https://www.energy.ca.gov/programs-and-topics/programs/building-energy-efficiency-standards/climate-zone-tool-maps-and>

GUIDANCE FOR ADDITIONAL REQUIREMENTS

ITEM 1: PROVIDE COMPLETE ENERGY CALCULATIONS (TITLE-24)

- Plans and specifications must show compliance with the state of California energy regulations (current California Building Energy Efficiency Standards). Compliance is demonstrated through energy calculation documentation.
- The appropriate documentation, forms, and calculations must be submitted when the application is submitted.
- Completed energy forms must be a permanent part of plans. The compliance statements must be signed.
- For projects requiring HERS verification and/or diagnostic testing, forms must be registered.
- Note that energy calculation documentation (typically a CF1R-PRF-01-E certification) is completed by a third party.

ITEM 2: PROVIDE STANDARD PROJECT STORM WATER QUALITY MANAGEMENT PLAN (SWQMP)

- This form can be obtained at the city website at <https://imperialbeachca.gov/DocumentCenter/View/323/Storm-Water-Management-Plan-Form-PDF>
- The document above includes instructions for filling out the form.

ITEM 3: PROVIDE TRUSS CALCULATIONS

- Submit one electronic set of the manufacturer's truss drawings and calculations that are signed and stamped by a state of California-registered Professional Engineer.
- The truss drawings and calculations must be coordinated with the truss layout.
- Note that these calculations are performed and provided by a third party.

ITEM 4: PROVIDE CITY OF IMPERIAL BEACH (C&D) WASTE MANAGEMENT PLAN

- This form can be obtained at the city website at <https://imperialbeachca.gov/DocumentCenter/View/273/Waste-Management-Plan-Form-PDF>
- The document above includes instructions for filling out the form.

ITEM 5: PROVIDE CITY OF IMPERIAL BEACH REQUEST TO WAIVE GEOTECHNICAL / SOILS REPORTS

- This form can be obtained at the city website at <https://imperialbeachca.gov/DocumentCenter/View/263/Request-for-Soils-Waiver-PDF>
- The document above includes instructions for filling out the form.

ITEM 6: SOLAR PV SYSTEM REQUIREMENT

- A Solar PV System will be required as a deferred submittal for the City of Imperial Beach Pre Approved ADU Plans.
- [See page 338 of the 2022 Building Energy Efficiency Standards](#)